



City of Muscatine

PLANNING AND ZONING COMMISSION

Monday, December 15, 2025

The Planning and Zoning Commission meets on the 3rd Monday of each month at 5:30 p.m. in City Hall Council Chambers.

December 15, 2025, 5:30 PM

AGENDA

1. CALL TO ORDER/ROLL CALL

2. MISSION STATEMENT

3. MINUTES

A. Approval of minutes from the November 17, 2025 meeting

4. SUBDIVISION

A. Final Plat - Hackett Development, Second Addition

The final plat for Hackett Development 2nd Addition has been submitted by T&T Hackett Development Group LLC. This addition covers the southernmost 19 lots of the overall Hackett Development subdivision. The preliminary plat for the entire subdivision, along with the final plat for the 9 northernmost lots (Hackett Development 1st Addition), was approved on July 17, 2025. The subdivision is situated between the south end of Clarabeck Lane and the north end of Green Acres Drive. The entire development features 18 zero-lot-line attached single-family homes (each on its own parcel with a shared property line for common walls) and 10 detached single-family homes, totaling 28 residences. New streets

connect Clarabeck Lane and Green Acres Drive, including a hammerhead turnaround at the new terminus of Clarabeck Lane. The Planning and Zoning Commission's recommendation to the City Council on a final plat is based on the finding that the subdivision and associated public improvements shown on the final plat conform to what was approved on the preliminary plat.

5. ADJOURNMENT

MINUTES
November 17, 2025 – 5:30 p.m.
Planning and Zoning Commission
Muscatine City Hall
City Council Chambers

Present: Sharon Froelich, Jodi Hansen, Kent Jurgensen, Andrew Anderson, Kayla Bendorf and Mark Fortenbacher

Unexcused:

Excused: Mark Seaman

Staff: Andrew Fangman, Senior City Planner, Community Development
April Limburg, City Planner, Community Development
Sara Schmelzer, Administrative Assistant

Chairperson Jodi Hansen opened the meeting at 5:30 p.m. and read the mission statement.

Minutes:

Andrew Anderson motioned to approve the October 20, 2025 minutes; seconded by Sharon Froelich. All ayes, motion carried.

Zoning Ordinance

Muscatine, like most Iowa communities, has historically relied on single-family zoning that overwhelmingly restricts residential land use to site-built single-family homes. However, the State Legislature has determined that this restrictive approach creates a barrier to building needed housing options in Iowa. Consequently, the state has passed recent laws that limit how restrictive cities and counties can be with single-family zoning, particularly concerning: accessory dwelling units, group homes, and manufactured homes. This presentation will detail what the State Code now mandates be allowed in single-family zones for these three housing types and the amendments to the necessary to City Code to bring it into compliance with state law. Andrew Fangman presented the amended changes to City code to reflect the State mandated changes to the regulation of accessory dwelling units, group homes, and manufactured homes. The commission discussed the reasoning behind the amendment changes as well as addressing concerns with lot size, setback, and HOA guidelines for the accessory dwelling units. The commission discussed the four type of group homes and the need for the homes to be treated as single family residences but will still be treated as a rental and inspected.

Andrew Anderson made a motion to approval the amended changes to the City code; seconded by Kayla Bendorf. All ayes, motion carried.

Meeting adjourned at 6:15 p.m.

ATTEST:

Jodi Hansen, Chairperson
Planning and Zoning Commission

Respectfully Submitted,

Andrew Fangman, Secretary
Senior City Planner



COMMUNITY DEVELOPMENT DEPARTMENT

City Hall - 215 Sycamore St
Muscatine, IA 52761-3840
(563) 262-4141
Fax (563) 262-4142

Planning • Zoning • Building Safety • Construction Inspection Services • Public Health • Housing Inspections • Code Enforcement

To: Planning and Zoning Commission
From: Andrew Fangman, Senior Planner
Date: December 15, 2025
Re: Final Plat of Hackett Development 2nd Addition

The final plat for Hackett Development 2nd Addition has been submitted by T&T Hackett Development Group LLC. This addition covers the southernmost 19 lots of the overall Hackett Development subdivision. The preliminary plat for the entire subdivision, along with the final plat for the 9 northernmost lots (Hackett Development 1st Addition), was approved on July 17, 2025.

The subdivision is situated between the south end of Clarabeck Lane and the north end of Green Acres Drive. The entire development features 18 zero-lot-line attached single-family homes (each on its own parcel with a shared property line for common walls) and 10 detached single-family homes, totaling 28 residences. The average assessed value for these homes is projected to be \$400,000. New streets connect Clarabeck Lane and Green Acres Drive, including a hammerhead turnaround at the new terminus of Clarabeck Lane.

The developer chose to divide the final plat approval into two phases. The first phase (Hackett Development 1st Addition), encompassing the northernmost nine lots, was approved in conjunction with the preliminary plat in July. The final plat now before the Planning and Zoning Commission (Hackett Development 2nd Addition) encompasses the remaining 19 lots.

The Planning and Zoning Commission's recommendation to the City Council on a final plat is based on the finding that the subdivision and associated public improvements shown on the final plat conform to what was approved on the preliminary plat.

For the first phase, the developer used an approach that permitted home construction to begin while the public infrastructure was still under construction. While construction of homes within the first phase was permitted, no certificate of occupancy would be issued until the required public infrastructure was completed. Additionally, the developer was required to submit a completion bond, which the City could have used to fund the completion of these public improvements should the developer have failed to do so.

The developer has now successfully completed all public infrastructure within both the first and second phases of this development. Consequently, the City Engineer recommends that the infrastructure be accepted by the City. The acceptance of this public infrastructure also allows for the approval of the final plat for the remaining 19 lots (Hackett Development 2nd Addition). As well as for certificate of occupancy for any structures within the development to be issued upon meeting all applicable requirements of the building code.

The new streets are 27 feet wide, matching the existing width of both Clarabeck Lane and Green Acres Drive. This street extension creates a new three-way intersection connecting

Clarabeck Lane and Green Acres Drive. With approval of this resolution these streets will be dedicated to the City of Muscatine and thereafter maintained as public streets.

This project's stormwater management plan focuses on using grass swales in most rear and side yards, as agreed with by the City Engineer, which negates the need for traditional detention improvements. These swales, designed to manage water quality and quantity, will maintain the property's natural eastward drainage. Additionally, a private storm sewer system has been designed for a 10-year storm event, featuring curb inlets and specific pipe types, with emergency overflow routes directing water to a nearby ravine.

This development benefits the community by significantly address specific housing-related needs. Increasing the availability of housing has been identified as the most critical community need in Muscatine. For Muscatine to prosper, the available housing stock must grow in both quantity and quality. Without the needed housing stock, Muscatine will not be able to maintain the workforce or tax base necessary to support a thriving community with a high quality of life. Recognizing this, a goal of creating 2,000 new housing units by 2033 has been set.

High-quality, new single-family homes in desirable locations are a significant component of the needed housing stock in Muscatine. Constructing these needed homes requires the availability of desirable lots, but the current availability is increasingly a barrier to this type of housing construction. Over the past 17 years, only one new residential subdivision, Arbor Commons, completed in 2020, has been built within the City of Muscatine. As Arbor Commons nears build-out, only a few scattered lots are currently available for constructing new high-quality, single-family homes. Without creating new, attractive building lots within Muscatine, this type of construction will soon halt due to the lack of suitable lots. If this occurs, it is very unlikely that the additional housing stock needed to secure Muscatine's prosperous future will be built.

The development's location strongly supports community growth through infill development. This approach leverages existing infrastructure and benefits from its proximity to desirable community amenities and facilities. Few locations in Muscatine offer a more advantageous proximity to schools, with Muscatine High School, Susan Clark Junior High School, McKinley Elementary School, and Saints Mary and Mathias Catholic School all within a half-mile. Furthermore, Fuller Park, Discovery Park, the Community Y, and the city-wide trail network are all less than a mile from the proposed development.

Beyond utilizing existing street and sewer infrastructure, this development improves existing street functionality by extending and connecting Clarabeck Lane and Green Acres Drive. This connection of two dead-end streets befits more than just the residents of the newly constructed homes.

Green Acres Drive was originally intended for a future northern extension and was therefore built without a turnaround. This resulted in an 830-foot-long street that is difficult for large vehicles to navigate. For example, due to the lack of a turnaround, trash and recycling trucks must back down the entire length of Green Acres twice during collection. The trucks pick up one side while driving to the end of Green Acres, then back out to Fulliam Avenue, re-enter Green Acres facing the other direction, then back up to the end of the street, to pick up the other side while driving out. Similarly, snow plowing and leaf pickup operations are made more difficult by the lack of a suitable turnaround. In an emergency, fire trucks responding to

incidents on Green Acres would have to back out the entire length of the street. Current fire code would not permit the construction of such a long dead-end street without a turnaround. Clarabeck Lane also dead-ends without a vehicle turnaround. Similar to Green Acres Drive, Clarabeck Lane was constructed in the late 1960s with the expectation that future development would extend it, which explains the lack of a turnaround in what was intended as its first phase.

The development's connection of Clarabeck and Green Acres resolves the issues caused by the current dead-ends' lack of turnarounds for large vehicles. Eliminating the need for large vehicles, such as trash trucks, snowplows, fire trucks, and delivery vehicles, to back out of these streets will improve safety and efficiency for both existing residents and vehicle operators.

The connection of Green Acres Drive and Clarabeck Lane would significantly improve access for existing homes on West Bay Drive, Clarabeck Lane, and Green Acres Drive. Currently, West Bay Drive and Clarabeck Lane are only accessible from Cedar Street, while Green Acres Drive is only accessible from Fulliam Avenue. Completing this connection allows homes on these three streets to be reached from either Cedar Street or Fulliam Avenue.

Having more than one route in and out of a subdivision benefits residents by allowing them to take more direct routes to their destinations. Multiple entrances/exits to a subdivision significantly ease access during road construction or in the event of an emergency road closure.

The increased street connectivity created by connecting Clarabeck Lane and Green Acres Drive would benefit more than just those residing in the immediate vicinity. An additional connection between Cedar Street and Fulliam Avenue would be created in an area currently lacking such connections for the three-quarters of a mile between Houser Street and Logan Street. The proposed project creates this connection.

This connection between Cedar Street and Fulliam Avenue provides a valuable detour route for construction or emergency incidents within the square of roads defined by Cedar Street, Logan Street, Fulliam Avenue, and Houser Street. Currently, there are few viable detour routes for closures on these street segments.

A major concern raised by nearby residents at the June 10 Planning and Zoning Commission hearing was that connecting Clarabeck and Green Acres would generate a large volume of high-speed cut-through traffic, particularly by high school students using it as a route to school. While the proposed development will create a beneficial new link between Houser and Fulliam Street, the number of trips diverted from Houser or Logan Street will likely be small, as those routes will remain faster and more direct. Approximately 172 homes (including the 28 proposed in this development) could potentially use a Green Acres/Clarabeck connection as a more direct route to the high school. Based on recent Census data, these homes would likely account for around 30 high school students.

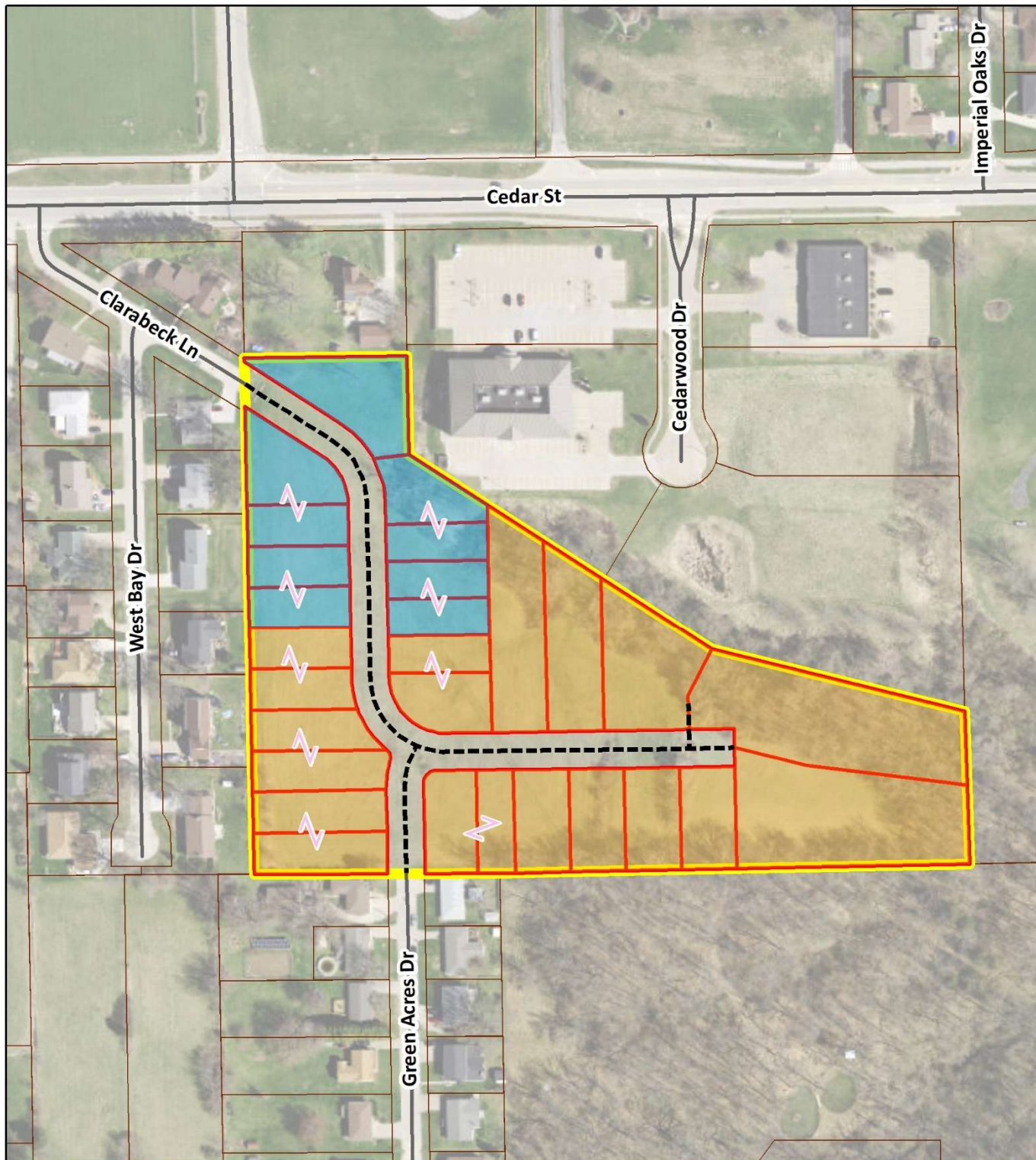
The design of the new streets, combined with the character of existing portions of Clarabeck Lane and Green Acres Drive, should limit traffic speeds. Drivers generally don't feel comfortable traveling at high speeds on two-way streets that are 27 feet wide and allow on-street parking on at least one side. This design helps maintain the low traffic speeds desirable in a residential setting. Additionally, the planned stop condition at the new intersection of Green Acres Drive and Clarabeck within the proposed development will further limit traffic speeds in the area.

Another traffic concern brought up at the Planning and Zoning Commission hearing was the potential for worsening backups at the Cedar Street and West Bay Drive/Clarabeck Lane intersection. It was argued that the proposed development's additional traffic, particularly during high school arrival and dismissal, would hinder access to both new and existing residential areas. Creating a second entry and exit point for these neighborhoods is the most effective way to address current and future school traffic issues.



Hackett Development

0 100 200 400 Feet



Legend



Subject Area



Centerline of Proposed Street Extension



Proposed New Lots (28 Lots)



Property Line that Will Follow a Common Wall



First Addition (9 lots)



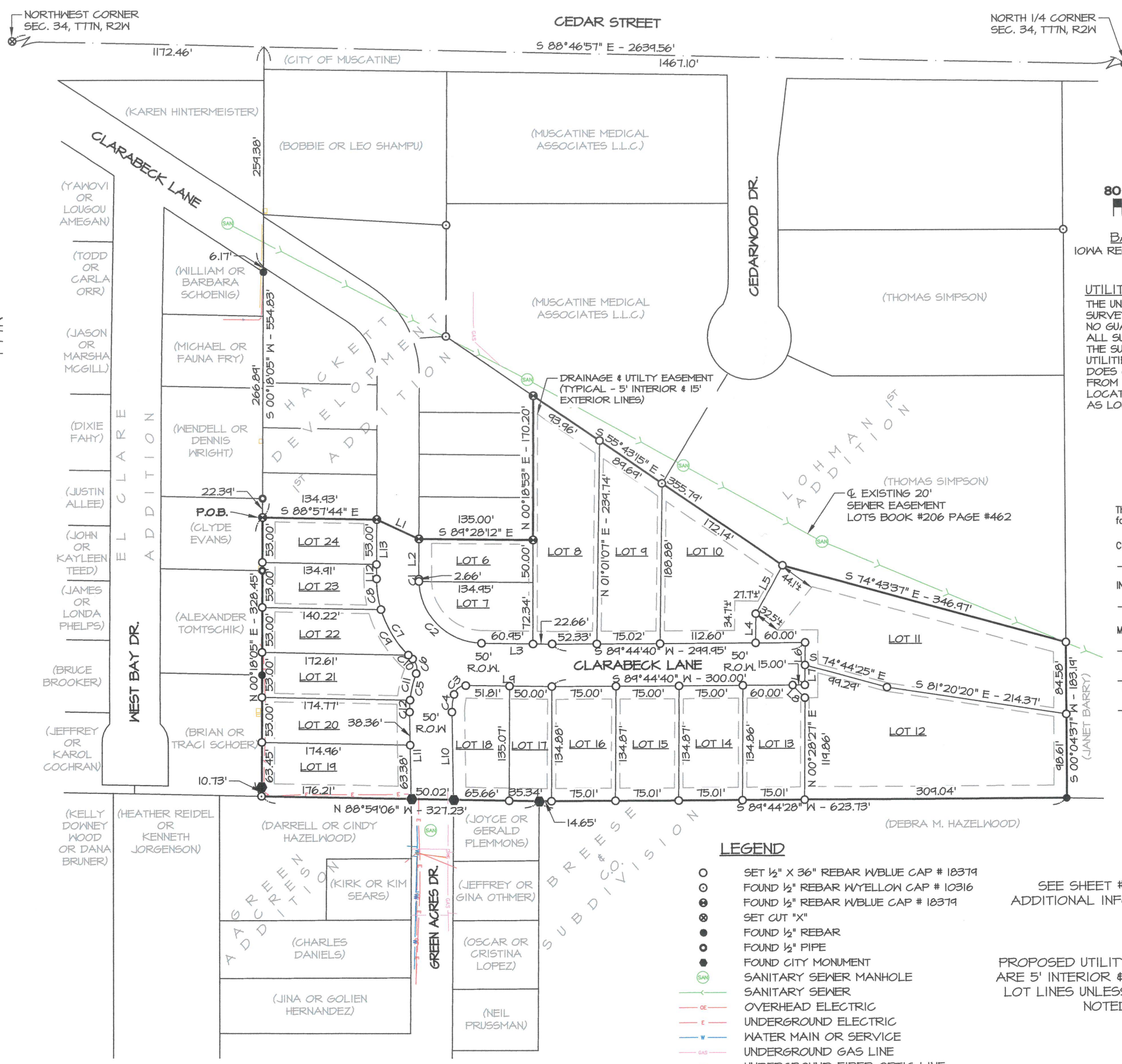
Second Addition (19 lots)



Current Parcel Lines

Date Source: Muscatine Area Geographic Information Consortium, City of Muscatine
Prepared by: Andrew Fangman, Senior Planner
Date: June 4, 2025

HACKETT DEVELOPMENT 2ND ADDITION
FINAL PLAT



BASIS OF BEARINGS
IOWA REGIONAL COORDINATE SYSTEM
ZONE 14

UTILITY NOTE:
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, BUT HAS SHOWN THEIR EXISTENCE AS LOCATED BY THE RESPECTIVE UTILITY COMPANIES AND AVAILABLE MAPPING.

The utility easements as shown are acceptable to the following utilities:

CENTURYLINK, LC	Title	Date
INTERSTATE POWER AND LIGHT, AN ALLIANT ENERGY COMPANY	Title	Date
MUSCATINE POWER & WATER	Title	Date
Transmission & Distribution	Title	Date
Water Production & Distribution	Title	Date
Communications	Title	Date

OWNER & DEVELOPER
T & T HACKETT
DEVELOPMENT GROUP LLC.
P.O. BOX 481
MUSCATINE, IA 52761

CURRENT ZONING
CITY - MU-R3

PROPOSED ZONING
CITY - MU-R4

AREAS
GROSS = 6.66 ACRES
NET = 5.80 ACRES
ROW = 0.86 ACRES

SETBACKS MU-R4
FRONT 25'
SIDE 6'
REAR 25'
*EXCEPT AS RESTRICTED BY EASEMENTS

- LEGEND**
- SET 1/2" X 36" REBAR W/B BLUE CAP # 18371
 - FOUND 1/2" REBAR W/YELLOW CAP # 10316
 - FOUND 1/2" REBAR W/B BLUE CAP # 18371
 - SET CUT "X"
 - FOUND 1/2" REBAR
 - FOUND 1/2" PIPE
 - FOUND CITY MONUMENT
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER
 - OVERHEAD ELECTRIC
 - UNDERGROUND ELECTRIC
 - WATER MAIN OR SERVICE
 - UNDERGROUND GAS LINE
 - UNDERGROUND FIBER OPTIC LINE

SEE SHEET #2 FOR
ADDITIONAL INFORMATION.

PROPOSED UTILITY EASEMENTS
ARE 5' INTERIOR & 15' EXTERIOR
LOT LINES UNLESS OTHERWISE
NOTED.

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Seth A. Whitacre
Date _____ Reg. No. 18379
My license renewal date is December 31, 2026
Pages or sheets covered by this seal: 2



SURVEY COMPANY / RETURN TO:					
Martin & Whitacre					
Surveyors & Engineers, Inc.					
1508 BIDWELL ROAD, MUSCATINE, IOWA 52761					
INFO@MARTIN-WHITACRE.COM (563)263-7691					
SURVEYOR: SETH A. WHITACRE					
PROPRIETOR(S): T & T HACKETT DEVELOPMENT GROUP LLC					
REQUESTOR: TODD HACKETT					
LOCATION: NW 1/4 SEC. 34, T77N, R2W MUSCATINE, IA					
SURVEY TYPE: FINAL PLAT					
FILE	BOOK	SCALE	DRN	CHK'D	DATE
SCANNED	HACKETT	1"=80'	EJA	SAW	10/1/25
REV.	0	9185 HACKETT 2ND ADDITION.DWG		SHEET	1 OF 2

LAND DESCRIPTION -

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 77 NORTH, RANGE 2 WEST OF THE 5TH PRINCIPAL MERIDIAN, IN THE CITY OF MUSCATINE, MUSCATINE COUNTY, IOWA.

COMMENCING AT THE NORTHWEST CORNER OF SECTION 34, THENCE SOUTH 88°46'57" EAST 1172.46 FEET ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 34; THENCE SOUTH 00°18'05" WEST 554.83 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88°57'44" EAST 134.93 FEET; THENCE SOUTH 65°17'43" EAST 54.90 FEET; THENCE south 89°28'12" EAST 135.00 FEET; THENCE NORTH 00°18'53" EAST 170.20 FEET; THENCE SOUTH 55°43'15" EAST 355.79 FEET; THENCE SOUTH 74°43'37" EAST 346.97 FEET; THENCE SOUTH 00°04'37" WEST 183.19 FEET; THENCE SOUTH 89°44'28" WEST 623.73 FEET; THENCE NORTH 88°59'06" WEST 327.23 FEET; THENCE NORTH 00°18'05" EAST 328.45 FEET TO THE POINT OF BEGINNING, CONTAINING 6.65 ACRES.

AREAS		
LOT #	ACRES	SQ. FT.
6	0.15	6750.0
7	0.20	8539.8
8	0.47	20397.2
9	0.37	16073.1
10	0.42	18178.0
11	0.82	35621.4
12	0.88	38547.9
13	0.23	10002.0
14	0.23	10114.9
15	0.23	10115.2
16	0.23	10115.5
17	0.16	6753.0
18	0.21	8972.2
19	0.26	11128.4
20	0.21	9249.1
21	0.22	9474.0
22	0.19	8124.2
23	0.17	7213.3
24	0.16	7150.8

LINE DATA		
LINE #	BEARING	DISTANCE
L1	S 65°17'43" E	54.90'
L2	S 00°18'53" W	47.34'
L3	S 89°12'01" E	83.61'
L4	N 00°31'48" E	34.39'
L5	N 29°49'16" E	65.71'
L6	S 00°31'48" W	26.44'
L7	S 00°31'48" W	23.57'
L8	S 44°53'26" E	21.08'
L9	N 89°12'01" W	101.81'
L10	S 00°49'43" E	103.35'
L11	N 00°49'43" W	101.74'
L12	N 00°18'53" E	17.01'
L13	N 00°18'53" E	70.01'

CURVE DATA					
CURVE #	DELTA	RADIUS	ARC	BEARING	CHORD
C1	2°01'59"	75.00	2.66'	S 00°42'07" E	2.66'
C2	89°16'36"	75.00	116.86'	S 44°19'25" E	105.39'
C3	75°50'40"	14.12	18.69'	S 52°52'39" W	17.35'
C4	16°02'13"	75.00	20.99'	S 07°11'24" W	20.92'
C5	21°29'33"	125.00	46.89'	S 09°55'04" W	46.61'
C6	69°12'35"	15.50	18.72'	S 13°56'28" E	17.61'
C7	48°51'38"	125.00	106.60'	S 24°06'56" E	103.40'
C8	16°46'10"	125.00	36.59'	S 08°04'12" E	36.45'
C9	28°56'30"	125.00	63.14'	S 30°55'32" E	62.47'
C10	3°08'58"	125.00	6.87'	S 46°58'16" E	6.87'
C11	14°46'01"	125.00	32.22'	S 13°16'50" W	32.13'
C12	6°43'32"	125.00	14.67'	S 02°32'03" W	14.66'

SURVEY COMPANY / RETURN TO:						
Martin & Whitacre						
Surveyors & Engineers, Inc.						
1508 BIDWELL ROAD, MUSCATINE, IOWA 52761						
INFO@MARTIN-WHITACRE.COM (563)263-7691						
SURVEYOR: SETH A. WHITACRE						
PROPRIETOR(S): T & T HACKETT DEVELOPMENT GROUP LLC						
REQUESTOR: TODD HACKETT						
LOCATION: NW ¼ SEC. 34, T77N, R2W MUSCATINE, IA						
SURVEY TYPE: FINAL PLAT						
FILE	BOOK	SCALE	DRN	CHK'D	DATE	JOB NO.
SCANNED	HACKETT	1"=80'	EJA	SAW	10/1/25	918525
REV.	0	9185 HACKETT 2ND ADDITION			SHEET	2 OF 2

HACKETT DEVELOPMENT SUBDIVISION

T&T HACKETT DEVELOPMENT GROUP LLC

MUSCATINE, IOWA

PROJECT ENGINEER

MICHAEL W. JANICEK, P.E.

MARTIN & WHITACRE SURVEYORS & ENGINEERS, INC.

305-285-1081

CITY OF MUSCATINE CONTACTS

KRYN COON, CITY ENGINEER

563-272-2515

MUSCATINE POWER & WATER

WATERS

BRVANSUTTER, 763-262-3340

COMMUNICATIONS

TOM LUNDS

563-262-3206

ALLIANT ENERGY

GUS

JOHN CARNEY

563-284-3322

CENTURY LINK

COMMUNICATIONS

563-355-1893

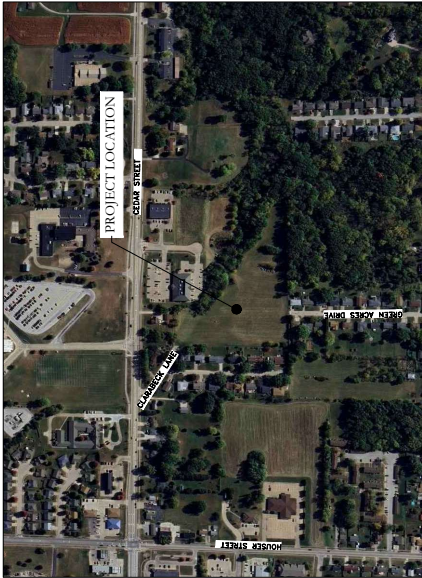
 **SUDAS**

THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT IOWA STATEWIDE URBAN DESIGN STANDARDS AND CITY BUILDING DOCUMENTS AND PROJECT SPECIAL CONDITIONS.

THIS PROJECT SHALL OPERATE UNDER NOTER GENERAL PERMIT NO. 2 FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION OF A PROJECT". THE DEVELOPER HAS FILLED A PERMIT, ALL CONTRACTORS SHALL SIGN AND ADHERE TO PROJECT SUDAS.

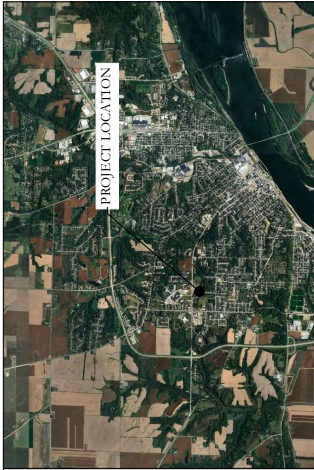
CONTRACTORS SHALL CALL IOWA ONE CALL 1-888-232-8869 PRIOR TO START OF WORK. EXISTING UTILITIES SHOWN ARE DERIVED FROM SURVEY & MAPPING DATA. FIELD LOCATE AND VERIFY ALL UTILITIES SHOWN. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND REPAIR DAMAGES.

CONTRACTORS SHALL PROVIDE TEMPORARY FENCING TO PREVENT ENTRANCE BY PEDESTRIANS AND VEHICLES. ALL WORK SHALL MEET CITY SAFETY PROTOCOLS.



SUDAS STANDARDS

FIGURE NUMBER	DETAIL	DESCRIPTION
7010.901	PCC PAVEMENT	JOINTING
7010.90	TYPICAL JOINTING LAYOUT	
7010.101	JOINTS	
7030.202	CONCRETE DRIVEWAY, TYPE A	
7030.101	CLASSES OF SIDEWALK	
7030.203	CURB DETAILS FOR CLASS A SIDEWALK	
7030.204	GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK	
7030.205	GENERAL SIDEWALK AND CURB RAMP DETAILS	
7030.206	CURB RAMP OUTSIDE OF INTERSECTION RADIUS	
7030.207	CURB RAMP FOR CLASS B OR C SIDEWALK	
7030.208	ALTERNATIVE CURB RAMP FOR CLASS B OR C SIDEWALK	
7030.209	CURB RAMP FOR CLASS A SIDEWALK	
7030.210	DETECTABLE WARNING PLACEMENT	
8020.102	WORK OFF OF PAVEMENT WITH MINOR ENCROACHMENTS ON TRAVELED WAY	
8030.104	LANE CLOSURE ON LOW VOLUME STREET (SELF REGULATING)	
8030.111	LANE CLOSURE AT AN INTERSECTION	
8030.115	MOVING OPERATIONS ON TWO LANE ROADS	



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA

MICHAEL W. JANICEK, P.E. I.A. REG. NO 15289 DATE 6/3/25

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025

Pages or sheets covered by this seal: _____

C-1 THROUGH C-18 _____

DATE: 6/3/25

JOB NO.: 918635

SHEETS: 18

SHEET: C-1

HACKETT DEVELOPMENT SUBDIVISION

T&T HACKETT DEVELOPMENT GROUP LLC

MUSCATINE, IOWA

9185.25

Martin & Whitacre

Surveyors & Engineers, Inc.

P.O. BOX 413

VOICE (563) 263-7691

EMAIL: info@martin-whitacre.com

MUSCATINE, IOWA

REVISIONS:

1	
2	
3	
4	

EXISTING PROPERTY LINE	_____	
EXISTING EASEMENT LINE	_____	
EXISTING SETBACK LINE	_____	
EXISTING FENCE LINE	_____	"
EXISTING TELEPHONE LINE	_____ TEL _____	
EXISTING FIBER OPTIC LINE	_____	
EXISTING OVERHEAD ELECTRIC	_____	
EXISTING UNDERGROUND GAS LINE	_____ GAS _____	
EXISTING WATER MAIN OR SERVICE	_____	"
EXISTING STORM SEWER/CULVERT	_____ ST _____	
EXISTING CURB/STREET	_____	"

PROPOSED FENCE LINE
PROPOSED TELEPHONE LINE
PROPOSED FIBER OPTIC LINE
PROPOSED UNDERGROUND ELECTRIC
PROPOSED OVERHEAD ELECTRIC
PROPOSED UNDERGROUND GAS LINE
PROPOSED WATER MAIN OR SERVICE
PROPOSED STORM SEWER/CULVERT
PROPOSED SANITARY SEWER

PROPOSED LIGHT POLE	PROPOSED 8" WATER VALVE	PROPOSED FIRE HYDRANT	PROPOSED CITY SPECIAL INTAKE	PROPOSED CITY STD SINGLE INTAKE	PROPOSED FLARED END	PROPOSED OPEN DITCH/AREA INTAKE	PROPOSED STORM SEWER MANHOLE	PROPOSED SANITARY MANHOLE	EXISTING SANITARY MANHOLE	SPW

EXISTING MAJOR CONTOUR LINE	EXISTING MINOR CONTOUR LINE	PROPOSED MAJOR CONTOUR LINE	PROPOSED MINOR CONTOUR LINE

PCG	PORTLAND CONCRETE CEMENT
HMA	HOT MIX ASPHALT
DIP	DUCTILE IRON PIPE
PCP	REINFORCED CONCRETE PIPE
PVC	POLY VINYL CHLORIDE PIPE
CMP	CORRUGATED METAL PIPE
PE	POLYETHYLENE PIPE
HDPPE	HIGH DENSITY POLYETHYLENE PIPE
IDOT	IOWA DEPARTMENT OF TRANSPORTATION
SDOT	STATEWIDE URBAN DESIGN AND SPECIFICATIONS
LUST	LEAKING UNDERGROUND STORAGE TANK
MPW	MUSCATINE POWER & WATER

	PROPOSED PCC PAVEMENT HATCH
	PROPOSED PCC SIDEWALK (BY OTHERS)
	TREE REMOVAL
	PROPOSED ADA RAMP

1. THE INTENT OF THE PLANS AND SPECIFICATIONS IS TO PROVIDE CONSTRUCTION DOCUMENT FOR A GENERAL CONTRACTOR UNDER CONTRACT WITH THE OWNER.
2. CONSTRUCTION STAKING WILL BE PROVIDED BY A LICENSED LAND SURVEYOR AT THE OWNER'S EXPENSE.
3. THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MICHIGAN STANDARD SPECIFICATIONS, THE LATEST EDITION; IOWA 2021 SUDAS SPECIFICATIONS; THE CONTRACT DOCUMENTS AND THESE DRAWINGS.
4. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER FOR THE CITY OF MUSCATINE AND ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

- [illegible]

UTILITY NOTES

- THE LOCATIONS OF THOSE BURIED AND ABOVE GROUND UTILITIES SHOWN ARE APPROXIMATE, AND SHOWN FOR CONTRACTOR INFORMATIONAL USE ONLY, AND ARE NOT TO BE REFERENCED FOR CONSTRUCTION PURPOSES. THE PRESENCE OR ABSENCE OF UTILITIES IS NOT TO BE CONSTRUED BY THE OWNER, ENGINEER, CONTRACTOR, OR SUBCONTRACTORS TO BE AN ACCURATE AND COMPLETE REPRESENTATION OF UTILITIES THAT MAY OR MAY NOT EXIST ON THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, IDENTIFICATION, AND MARKING THE SOLE REPRESENTATION OF THE CONTRACTOR.
1. REROUTING, DISCONNECTION, PROTECTION, ETC. OF ANY UTILITY MUST BE COORDINATED BETWEEN THE CONTRACTOR, UTILITY COMPANY AND OWNER.
2. SITE INVESTIGATIONS INCLUDING THE EXCAVATION OF UTILITIES ASSOCIATED WITH BURIED AND ABOVE GROUND UTILITIES SHOWN ARE INCIDENTAL TO THE MAIN SCOPE RESPONSIBILITY OF THE CONTRACTOR.
3. BEDDING FOR UTILITIES ARE INCIDENTAL TO PIPE BID ITEM.

[illegible][illegible]

GENERAL NOTES & DETAILS	PROJ NO:	9185.25	DRAWING NO:
	CONST PROJ:	000	
	SCALE:	AS NOTED	SHEET NO:
	DATE:		

DATE: 6/13/05 SHEET NO: 1



Martin & Whitacre
Surveyors & Engineers
1508 BIDWELL ROAD
DUNFEE, S.C. 29542-2501
PHONE: (803) 362-7501
FAX: (803) 362-7502

SANITARY SEWER STRUCTURE SCHEDULE — SW-301									
STRUCTURE NAME	TYPE	STATION	OFFSET	RIM EL.	INV. IN	INV. OUT			
SAMH-1	SW-301	5+10.86	L 32.50'	692.28		680.28			
SAMH-2	SW-301	21+13.24	R 16.50'	697.27		685.27			
SAMH-3	SW-301	7+86.00	L 4.60'	693.77	679.22	679.22			
SAMH-4	SW-301	11+65.50	L 32.50'	687.78	675.88	675.78			
SAMH-5	SW-301	42+42.66	0.00'	674.93	664.73	664.63			
SAMH-EX	SW-301	42+83.98	0.00'	671.76	664.19				

SANITARY SEWER PIPES				STRUCTURE TO STRUCTURE	
NAME	SIZE	LENGTH	GRADE		
P — (1)	8"	41 LF	1.06%	SAMH-5-664.63 TO SAMH-EX-664.19	
P — (2)	8"	368 LF	0.88%	SAMH-3-679.12 TO SAMH-4-675.88	
P — (3)	8"	128 LF	4.72%	SAMH-2-685.27 TO SAMH-3-679.22	
P — (4)	8"	264 LF	0.40%	SAMH-1-680.28 TO SAMH-3-679.22	
P — (12)	8"	111 LF	10.00%	SAMH-4-675.78 TO SAMH-5-664.73	

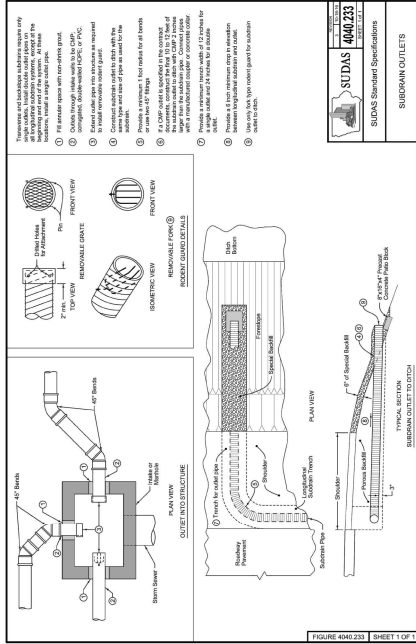
STORM SEWER SW-501 — TYPE R INTAKES									
NAME	SIZE	STATION	OFFSET	TC EL.	FORM EL.	INV. IN	INV. OUT		
CB-1	SW-501	3+45.42	-13.50	687.38	686.88	15" SW, 683.34	15" NE, 683.34		
CB-2	SW-501	3+45.42	13.50	687.38	686.88		15" NE, 683.88		
CB-3	SW-501	8+50.00	13.50	693.46	692.96		15" N, 689.96		
CB-4	SW-501	8+50.00	-13.50	693.46	692.96	15" S, 689.42	15" E, 689.42		
CB-5	SW-501	11+74.84	13.50	687.33	686.83		15" N, 683.83		

STORM SEWER PIPE TABLE							
PIPE NUMBER	PIPE SIZE	LENGTH (LF)	GRADE (%)	START INVERT	END INVERT		
P — (5)	18"	17	2.00%	668.46	668.80		
P — (6)	15"	123	9.90%	671.14	683.30		
P — (7)	15"	27	2.00%	683.30	683.83		
P — (8)	15"	323	1.90%	683.30	689.42		
P — (9)	15"	27	2.00%	689.42	689.96		
P — (10)	15"	6	5.00%	683.06	683.34		
P — (11)	15"	27	2.00%	683.34	683.88		

STORM SEWER SW-501 — TYPE Q INTAKES									
NAME	TYPE	STATION	OFFSET	TC EL.	FORM EL.	INV. IN	INV. OUT		
CB-6	SW-501 — TYPE Q	11+74.84	13.00'	686.83	686.83	15" S, 683.30	15" NE, 683.30		

STORM SEWER MANHOLES — SW-401									
NAME	STATION	OFFSET	RIM EL.	INV. IN	INV. OUT				
STMH-48"	28+72.44	0.00'	674.14	15" SW, 671.14	18" N, 668.80				
STMH-84"	3+45.59	L 19.15'	687.60	15" SW, 683.06					

FLARED END SECTIONS				
NAME	SIZE	STATION	OFFSET	FLOWLINE EL.
FES	18"	29+89.49	0.00'	668.46



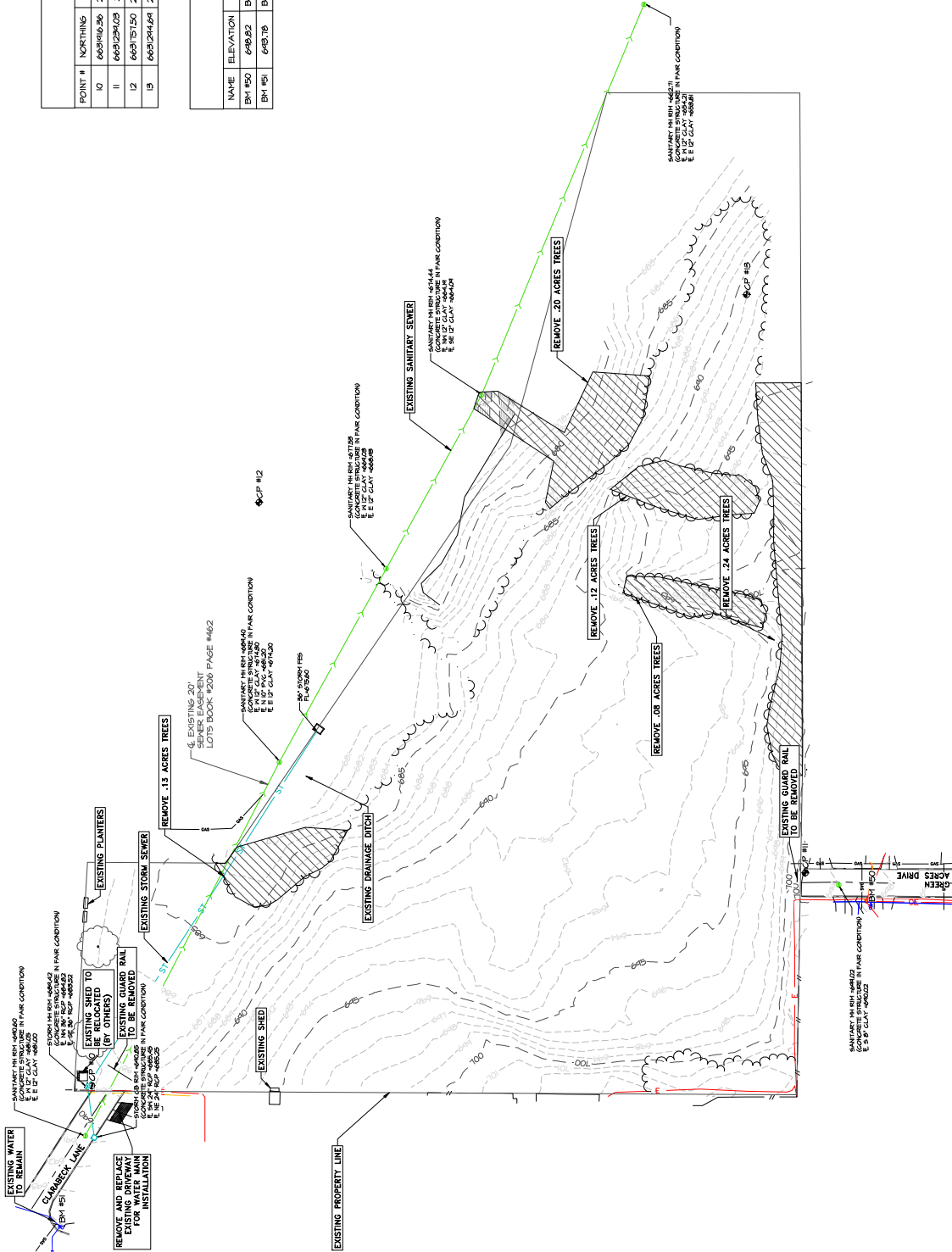
#	DATE	DESCRIPTION	BY	DESIGNED BY:	DATE
				MAR	
				MAR	
				PROJECT ENGR.	MPV

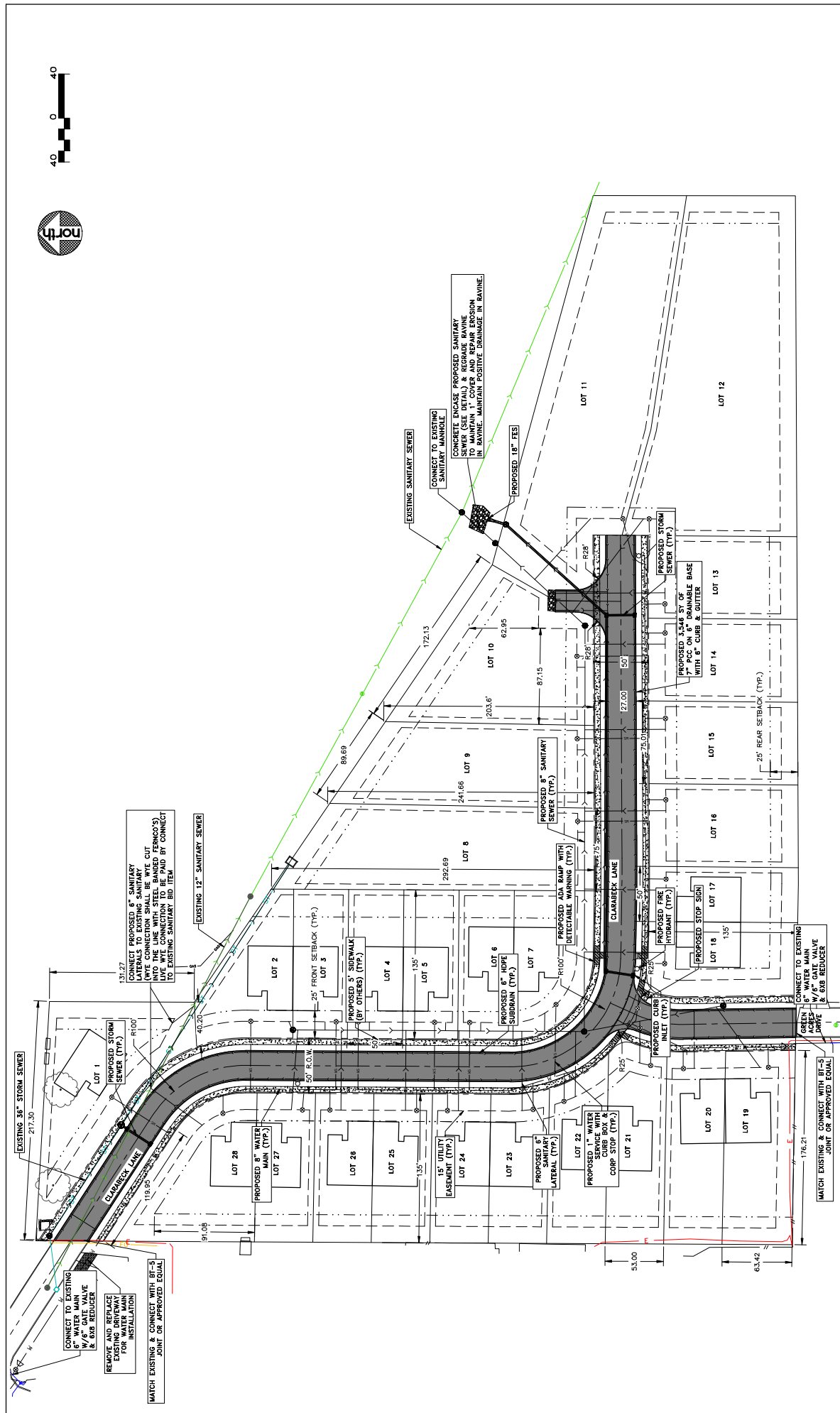
Martin & Whitacre
Surveyors & Engineers, Inc.
 1508 BIDWELL ROAD
 MUSCATINE, IOWA
 PHONE 563-253-7891
 EMAIL: info@martin-whitacre.com

HACKETT DEVELOPMENT SUBDIVISION
 T&T HACKETT DEVELOPMENT GROUP
 LLC
 MUSCATINE, IOWA

PROJECT NO.	DRAWING NO.
0185.25	C-4
CONST. PROJ.	SCALE
000	AS NOTED
DATE	SHEET NO.
6/3/23	4 OF 15

NAME	ELEVATION	DESCRIPTION
BM #50	698.82	BOLT ON FIRE HYDRANT ON WEST SIDE OF GREEN ACRES DRIVE
BM #51	698.18	BOLT ON FIRE HYDRANT AT THE SOUTHEAST CORNER OF CLARABEK AND NEST BAY DRIVE

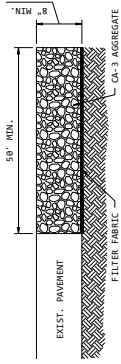
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#	DATE	DESCRIPTION	BY	DESIGNED BY:	Martin & Whitacre Surveyors & Engineers, Inc. 1508 BIDWELL ROAD MUSCATINE, IOWA PHONE 563-263-7891 EMAIL info@mawhitacre.com HACKETT DEVELOPMENT SUBDIVISION T&T HACKETT DEVELOPMENT GROUP LLC MUSCATINE, IOWA PROPOSED SITE & UTILITY PLAN	PROJ NO: 9185-25	DRAWING NO:
				DRAWN BY: MAR		CONST PROJ: 000	C-6
						SCALE: AS NOTED	
				PROJECT ENGR: MWJ		DATE: 6/3/25	SHEET NO: 6 OF 18

GRADING SUMMARY			
		CUT (CY)	FILL (CY)
	UNADJUSTED	11,724.18	9,014.71
	FACTORED PAVEMENT	743.22	571.46
	SUBTOTAL	12,467.40	8,443.25
	25% SHRINKAGE		2,110.81
	TOTAL	12,467.40	10,554.06

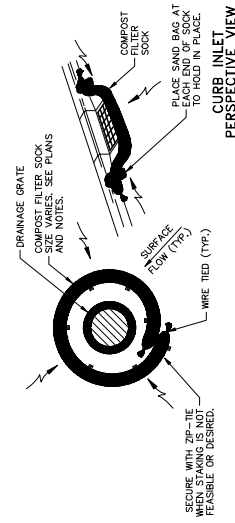
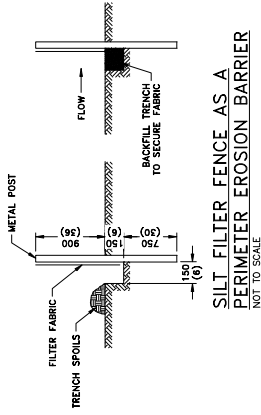
NET (CY) TO BE SPREAD ON SITE	1,913.34
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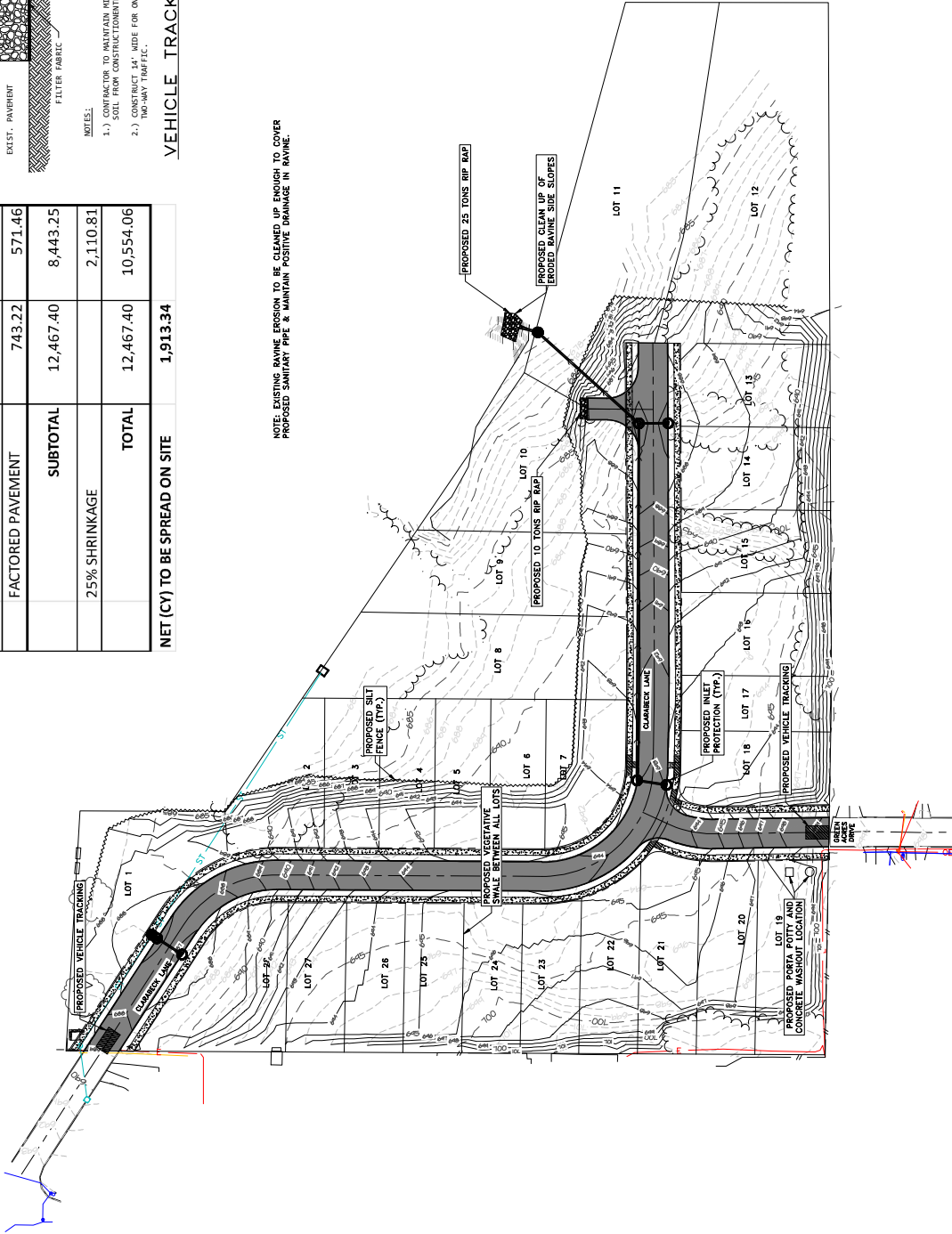
- NOTES:**
1. ANCHORING STAKES SHALL BE SIZED, SPACED AND BE OF A MATERIAL THAT EFFECTIVELY SECURES THE FILTER SOCK. STAKE SPACING SHALL BE A MAXIMUM OF THREE FEET.
 2. OVERLAP ENDS OF SOCK PER MANUFACTURER'S RECOMMENDATIONS. (1" MIN., 3" MAX.)
 3. USE 8" TO 12" DIAMETER SOCK ON CURBSIDE IN TRAFFIC AREAS.
 4. USE 12"-18" DIAMETER SOCK IN NON-TRAFFIC AREAS OR AREAS WHERE SAFETY IS NOT A CONCERN.

- NOTES:**
- 1.) CONTRACTOR TO MAINTAIN MINIMUM DEPTH AND SHALL REMOVE SOIL FROM CONSTRUCTION ENTRANCE, AS REQUIRED.
 - 2.) CONSTRUCT 14' WIDE FOR ONE-WAY TRAFFIC AND 20' WIDE FOR TWO-WAY TRAFFIC.

VEHICLE TRACKING CONTROL



COMPOST FILTER SOCK INLET PROTECTION
NOT TO SCALE

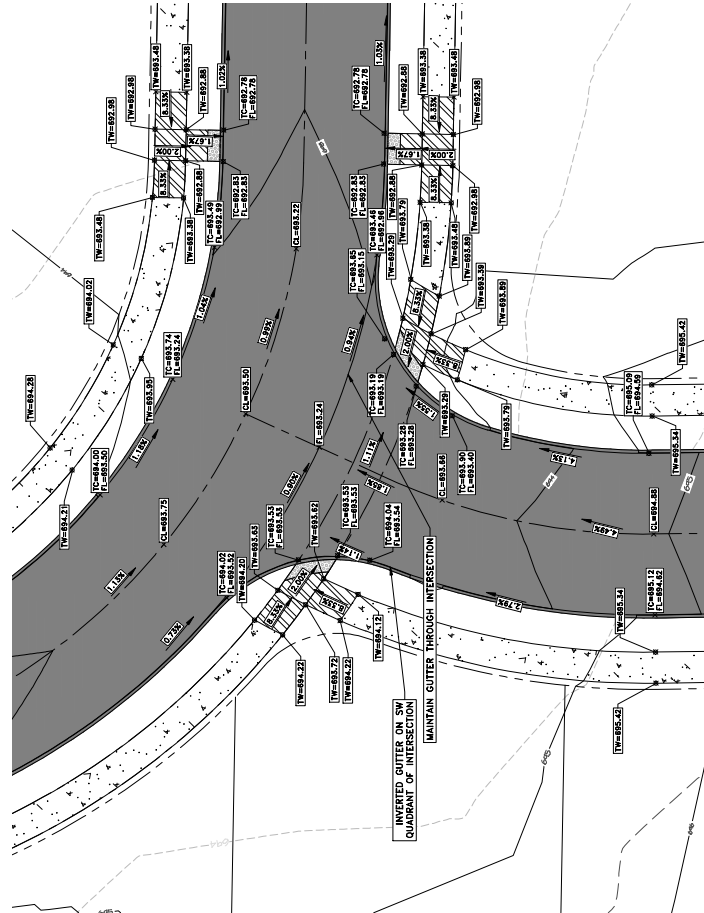
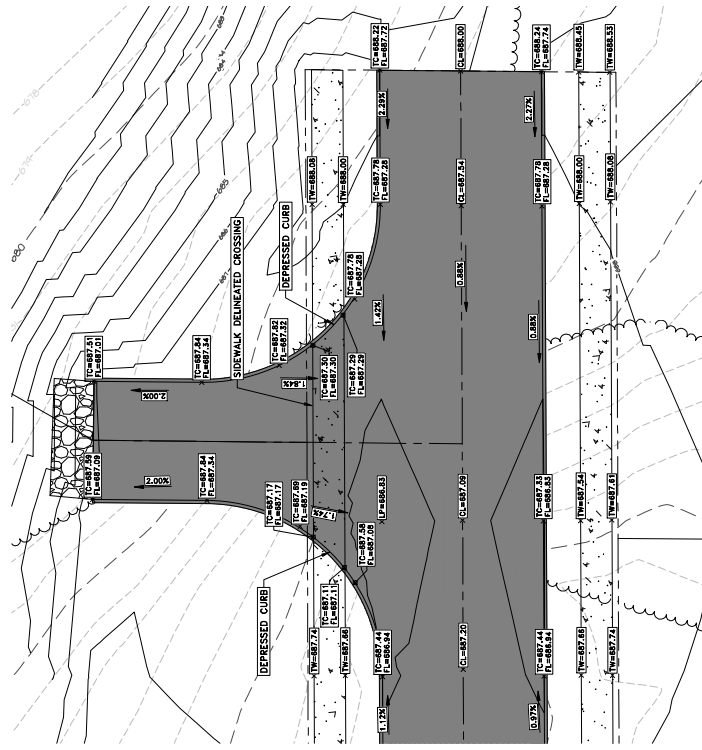


#	DATE	DESCRIPTION	DESIGNED BY:		BY	MAR
			17	1-17		
			DRAWN BY:			MAR
			PROJECT ENGR:			MWJ
 Martin & Whitacre Surveyors & Engineers, Inc. 1508 BIDWELL ROAD MUSCATINE, IOWA PHONE (563) 262-7891 EMAIL: info@martin-whitacre.com						
HACKETT DEVELOPMENT SUBDIVISION T&T HACKETT DEVELOPMENT GROUP LLC MUSCATINE, IOWA						
GRADING & EROSION CONTROL PLAN			PROJ NO: 0085.25 CONST PROJ: 000 SCALE: AS NOTED DATE: 6/3/25		DRAWING NO: C-7 SHEET NO: 7 OF 18	

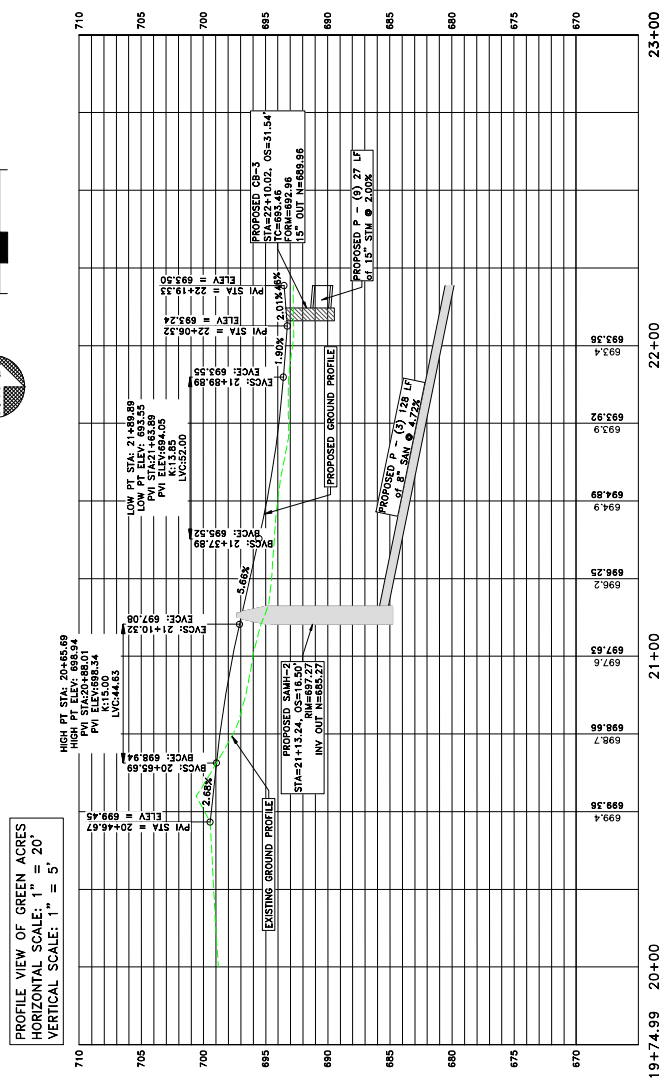
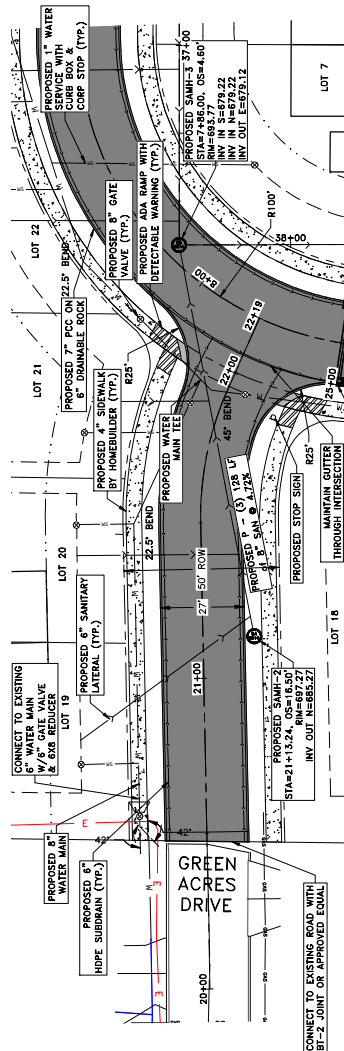


PROPOSED PEDESTRIAN RAMP

FUTURE 5" PCC SIDEWALK BY HOMEOWNER



#	DATE	DESCRIPTION	BY	DESIGNED BY:	 Martin & Whitacre Surveyors & Engineers, Inc. 1508 BIDWELL ROAD MUSCATINE, IOWA PHONE 663-262-7891 EMAIL info@mawhite.com	HACKETT DEVELOPMENT SUBDIVISION T&T HACKETT DEVELOPMENT GROUP LLC MUSCATINE, IOWA	PAVEMENT DETAILS	PROJ NO: 9185.25	DRAWING NO:
				DRAWN BY: MAR				CONST PROJ: 000	C-8
				MAR				SCALE: AS NOTED	SHEET NO: 8 OF 18
				PROJECT ENGR: MWJ				DATE: 6/3/25	



#	DATE	DESCRIPTION	BY	DESIGNED BY:
			MAR	
			DRAWN BY:	MAR
			PROJECT ENGR:	(NOT)



**Martin & Whitacre
Surveyors & Engineers, Inc.**
 1508 BIDWELL ROAD
 MUSCATINE, IOWA
 PHONE (563) 283-7891
 EMAIL info@martin-whitacre.com

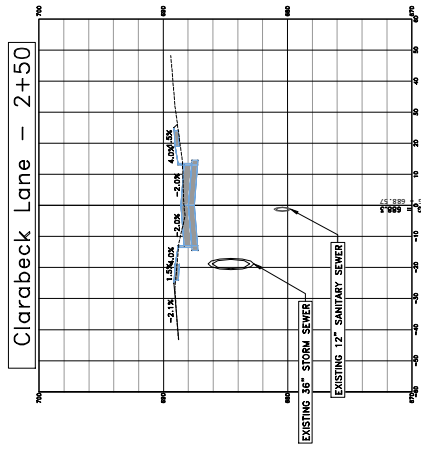
HACKETT DEVELOPMENT SUBDIVISION T&T HACKETT DEVELOPMENT GROUP LLC MUSCATINE, IOWA

PLAN & PROFILE - GREEN ACRES

PROJ NO: 985-25	DRAWING NO:
CONST PROJ: 000	C-12
SCALE: AS NOTED	SHEET NO:
DATE: 6/3/75	12 OF 18

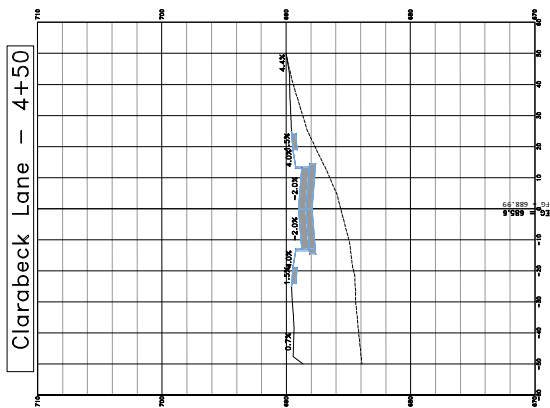
The image displays three cross-section diagrams of Claraback Lane, showing the profiles of existing 36" storm sewers and 12" sanitary sewers. The diagrams are oriented vertically, with stationing increasing from bottom to top.

- Claraback Lane - 3+00:** The storm sewer profile starts at an elevation of 1.54 at station 3+00 and rises to 1.74 at station 3+05. The sanitary sewer profile starts at an elevation of 1.54 at station 3+00 and rises to 1.74 at station 3+05. The storm sewer is labeled "EXISTING 36" STORM SEWER" and the sanitary sewer is labeled "EXISTING 12" SANITARY SEWER".
- Claraback Lane - 3+50:** The storm sewer profile starts at an elevation of 1.54 at station 3+50 and rises to 1.74 at station 3+55. The sanitary sewer profile starts at an elevation of 1.54 at station 3+50 and rises to 1.74 at station 3+55. The storm sewer is labeled "EXISTING 36" STORM SEWER" and the sanitary sewer is labeled "EXISTING 12" SANITARY SEWER".
- Claraback Lane - 4+00:** The storm sewer profile starts at an elevation of 1.54 at station 4+00 and rises to 1.74 at station 4+05. The sanitary sewer profile starts at an elevation of 1.54 at station 4+00 and rises to 1.74 at station 4+05. The storm sewer is labeled "EXISTING 36" STORM SEWER" and the sanitary sewer is labeled "EXISTING 12" SANITARY SEWER".

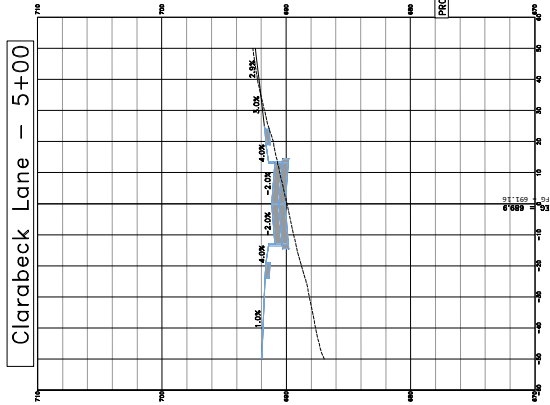


#	DATE	DESCRIPTION	BY	DESIGNED BY:	 Martin & Whitacre Surveyors & Engineers, Inc. 1508 BIDWELL ROAD MUSCATINE, IOWA PHONE (563) 263-7891 EMAIL: info@martin-whitacre.com	HACKETT DEVELOPMENT SUBDIVISION T&T HACKETT DEVELOPMENT GROUP LLC MUSCATINE, IOWA	CROSS SECTIONS - 1	PROJ NO:	0085.25	DRAWING NO:		
									CONST PROJ:	000	C-14	
									SCALE:	AS NOTED		
									DATE:	6/3/25	SHEET NO:	14 OF 18

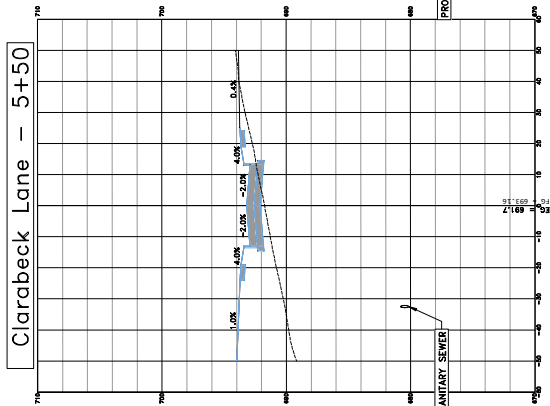
**NOTE:
REFER TO GRADING & EROSION
CONTROL PLAN FOR GRADING
OUTSIDE OF RIGHT OF WAY**



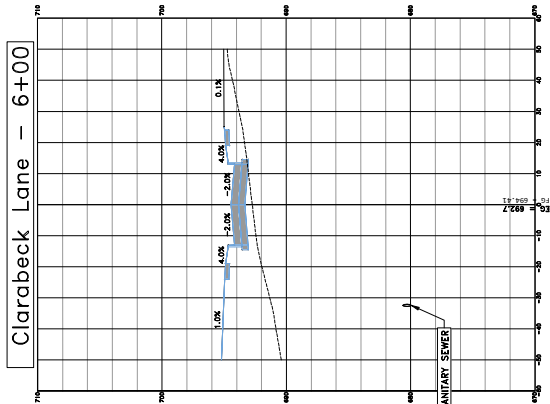
Clarabeck Lane - 4+50



Clarabeck Lane - 5+00



Clarabeck Lane - 5+50



Clarabeck Lane - 6+00

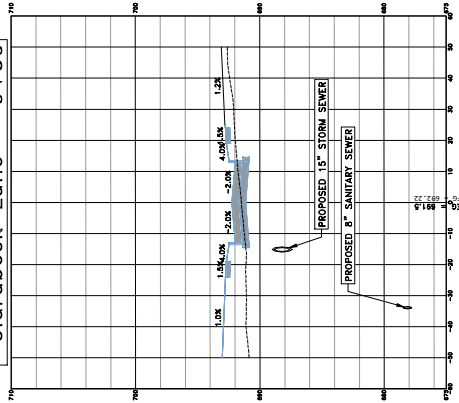
#	DATE	DESCRIPTION	BY	DESIGNED BY:
			MAR	MAR
			DRAWN BY:	MAR
			PROJECT ENGINEER:	[MW]



**Martin & Whitacre
Surveyors & Engineers, Inc.**
1508 BIDWELL ROAD
MUSCATINE, IOWA
PHONE 563-252-7691
EMAIL info@martin-whitacre.com

HACKETT DEVELOPMENT SUBDIVISION T&T HACKETT DEVELOPMENT GROUP LLC MUSCATINE, IOWA	CROSS SECTIONS - 2	PROJ NO.: 9485,25 CONST PROJ.: 000 SCALE: DATE: AS NOTED	DRAWING NO.: C-15 SHEET NO.: 15 OF 18
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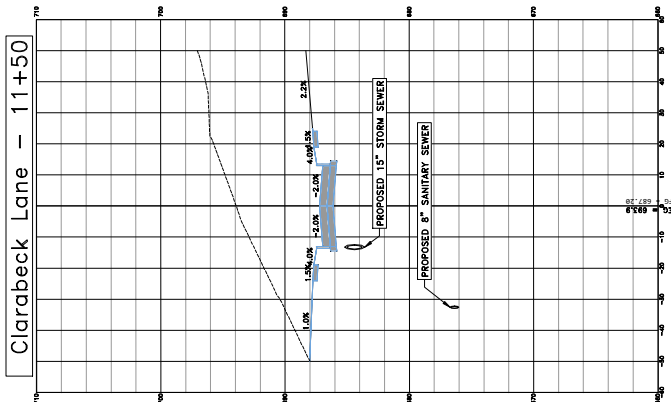
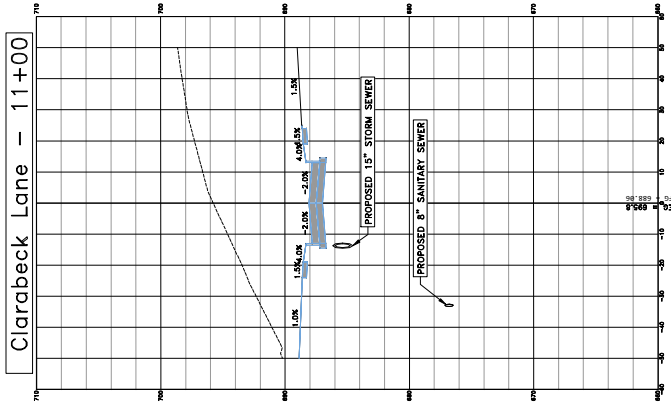
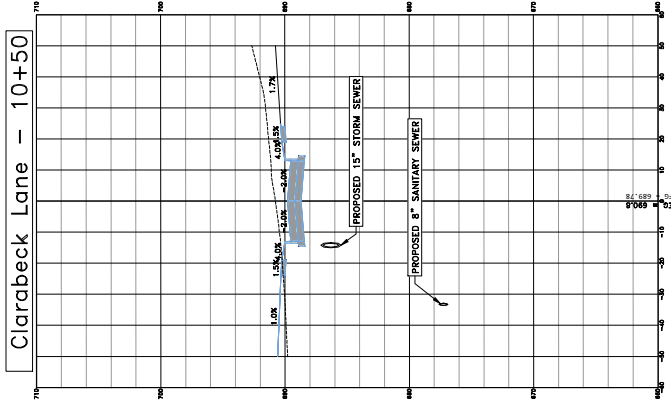
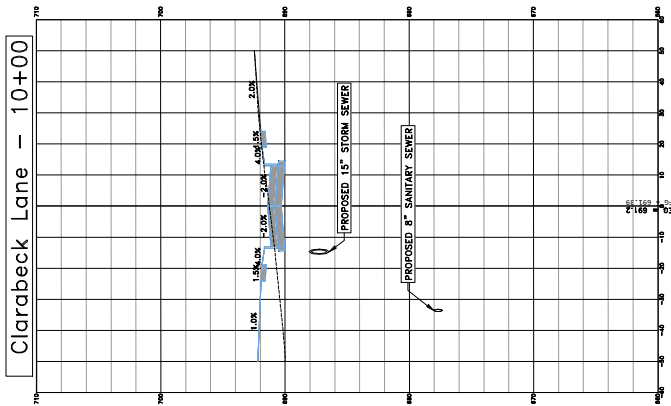
Clarabeck Lane - 9+50



Clarabeck Lane - 9+00

SCALE:	AS NOTED	SHEET NO:	16 OF 18
DATE:	6/3/25		

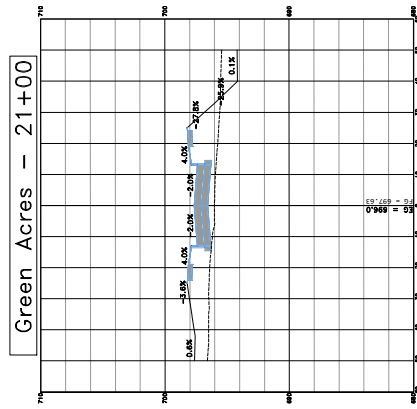
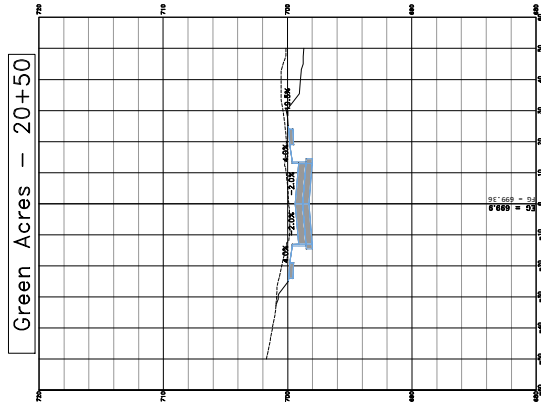
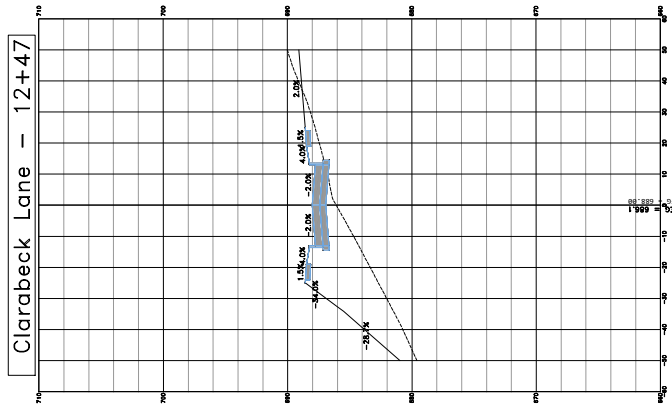
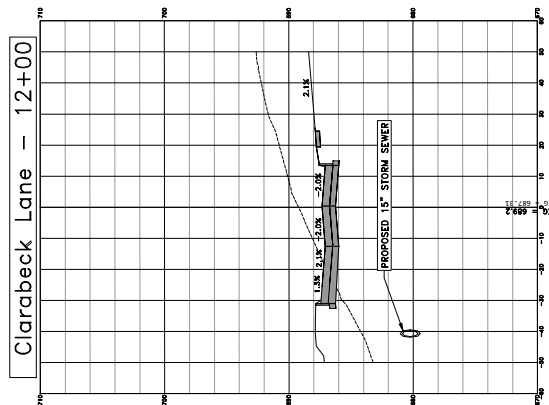
NOTE:
REFER TO GRADING & EROSION
CONTROL PLAN FOR GRADING
OUTSIDE OF RIGHT OF WAY



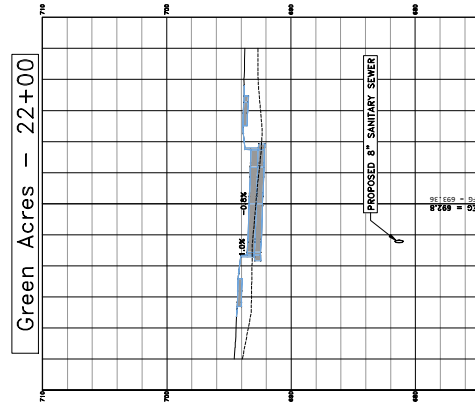
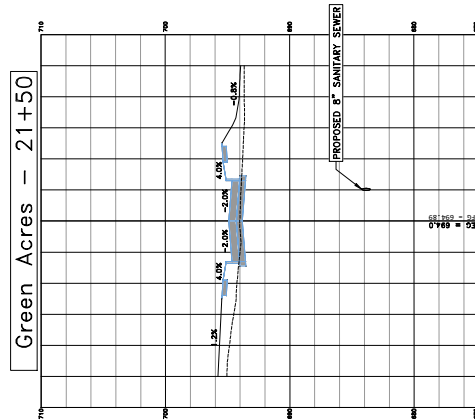
#	DATE	DESCRIPTION	BY	DESIGNED BY:	MAILED	PROJECT ENGR.	MAILED	PROJECT ENGR.	MAILED

PROJ NO:	9185.25	DRAWING NO:	C-17
CONST PROJ:	000	SCALE:	AS NOTED
DATE:	6/2/25	SHEET NO:	17 OF 18

HACKETT DEVELOPMENT SUBDIVISION T&T HACKETT DEVELOPMENT GROUP LLC MUSCATINE, IOWA	CROSS SECTIONS - 4	Martin & Whitacre Surveyors & Engineers, Inc. 1508 BIDWELL ROAD PHONE 563-253-7811 EMAIL info@martinwhitacre.com MUSCATINE, IOWA
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NOTE:
REFER TO GRADING & EROSION
CONTROL PLAN FOR GRADING
OUTSIDE OF RIGHT OF WAY



#	DATE	DESCRIPTION	BY	DESIGNED BY:	Martin & Whitacre Surveyors & Engineers, Inc. 1508 BIDWELL ROAD MUSCATINE, IOWA PHONE 563-253-7691 EMAIL info@mawhite.com	CROSS SECTIONS - 5	HACKETT DEVELOPMENT SUBDIVISION T&T HACKETT DEVELOPMENT GROUP LLC MUSCATINE, IOWA	PROJ NO:	9185.25	DRAWING NO:
								CONST PROJ:	000	C-18
								SCALE:	AS NOTED	
								DATE:	6/3/25	
								PROJECT ENG:	MWJ	